

寄件者: [REDACTED]
寄件日期: 2025年10月20日星期一 9:27
收件者: tpbpd/PLAND
副本: [REDACTED]
主旨: Fw: s.16 Planning Application No. A/YL-KTN/1173
附件: S.16-I_Updated_20251019.pdf

[REDACTED]

Thank you for the phone call. Please see the attachment for the updated appendix and related documents. Please contact Mr. Tang on phone [REDACTED] or email to [REDACTED] if you have any question regarding to the proposal.

Your Sincerely,
Mr. Tang

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至 %
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)
.....

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

擬議臨時商店及服務行業連附屬設施及停車場 (為期5年)

Proposed Temporary Shop and Services with Ancillary Facilities and Car Park
for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	540 sq.m 平方米	☒ About 約
Proposed plot ratio 擬議地積比率	0.11	☒ About 約
Proposed site coverage 擬議上蓋面積	7.4 %	☒ About 約
Proposed no. of blocks 擬議座數	10	
Proposed no. of storeys of each block 每座建築物的擬議層數	2 storeys 層	
	☐ include 包括.....storeys of basements 層地庫	
	☐ exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	 mPD 米(主水平基準上) Not Exceeding 7 m 米	☐ About 約 ☐ About 約

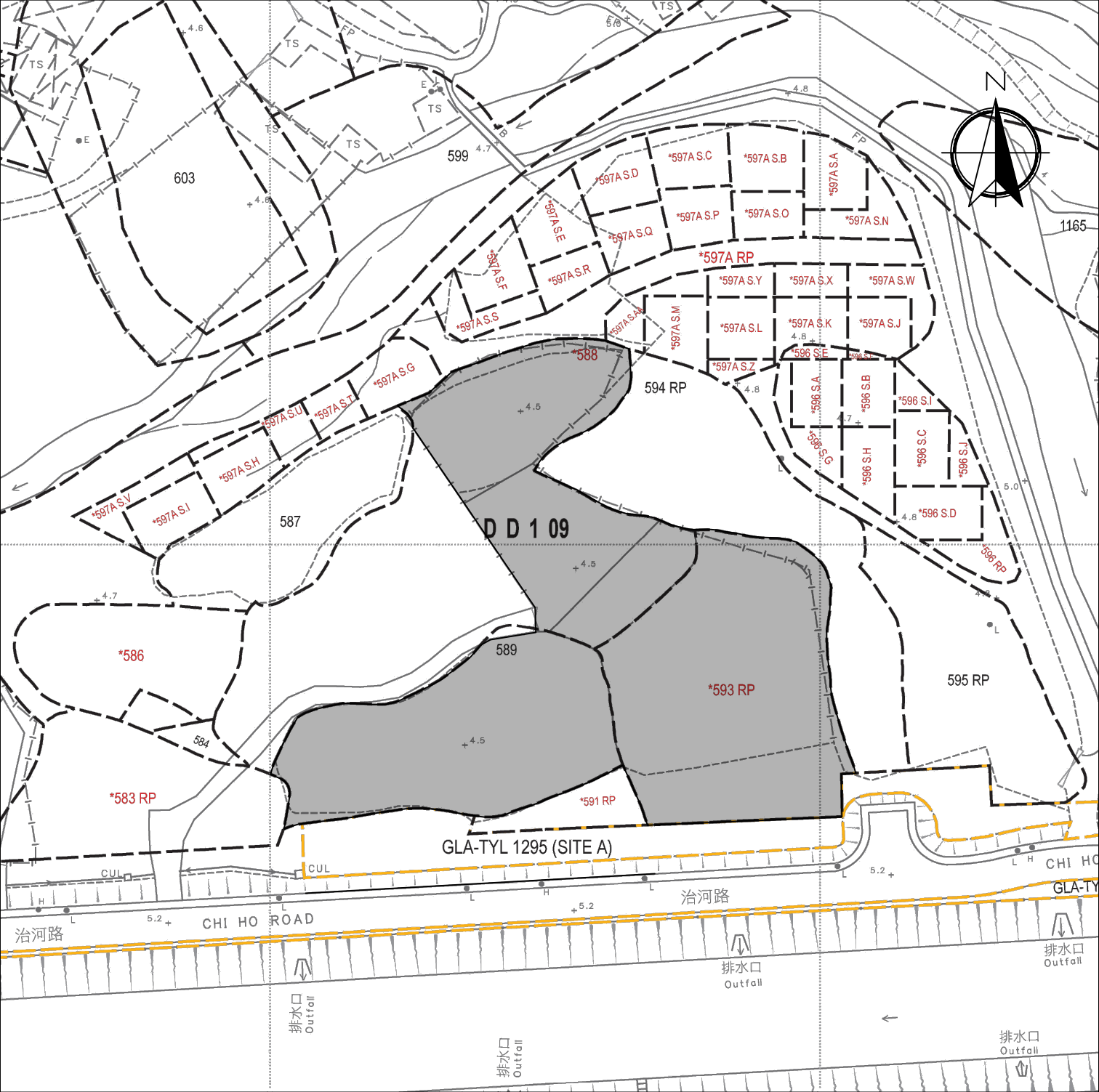
7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間
Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023) 擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月) (Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any)) (申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份) December 2026

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排		
Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Chi Ho Road 治河路 ☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) ☐
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是 No 否	☒ (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 20 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) Space for Displaying Vehicle - Private Car 12 Space for Displaying Vehicle - LGV 4 ☐
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是 No 否	☒ (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 9 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) ☐

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) Space for Displaying Vehicle - Private Car Space for Displaying Vehicle - LGV	36 PC: 20 PC: 12 LGV: 4
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	9 LGV: 9

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☐	☒
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☐
Sectional plan(s) 截視圖	☐	☐
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他 (請註明)	☐	☒
Location Plan, Existing Vehicular Access and Paved Area		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	☒	☐
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他 (請註明)	☐	☐

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號



Legend:

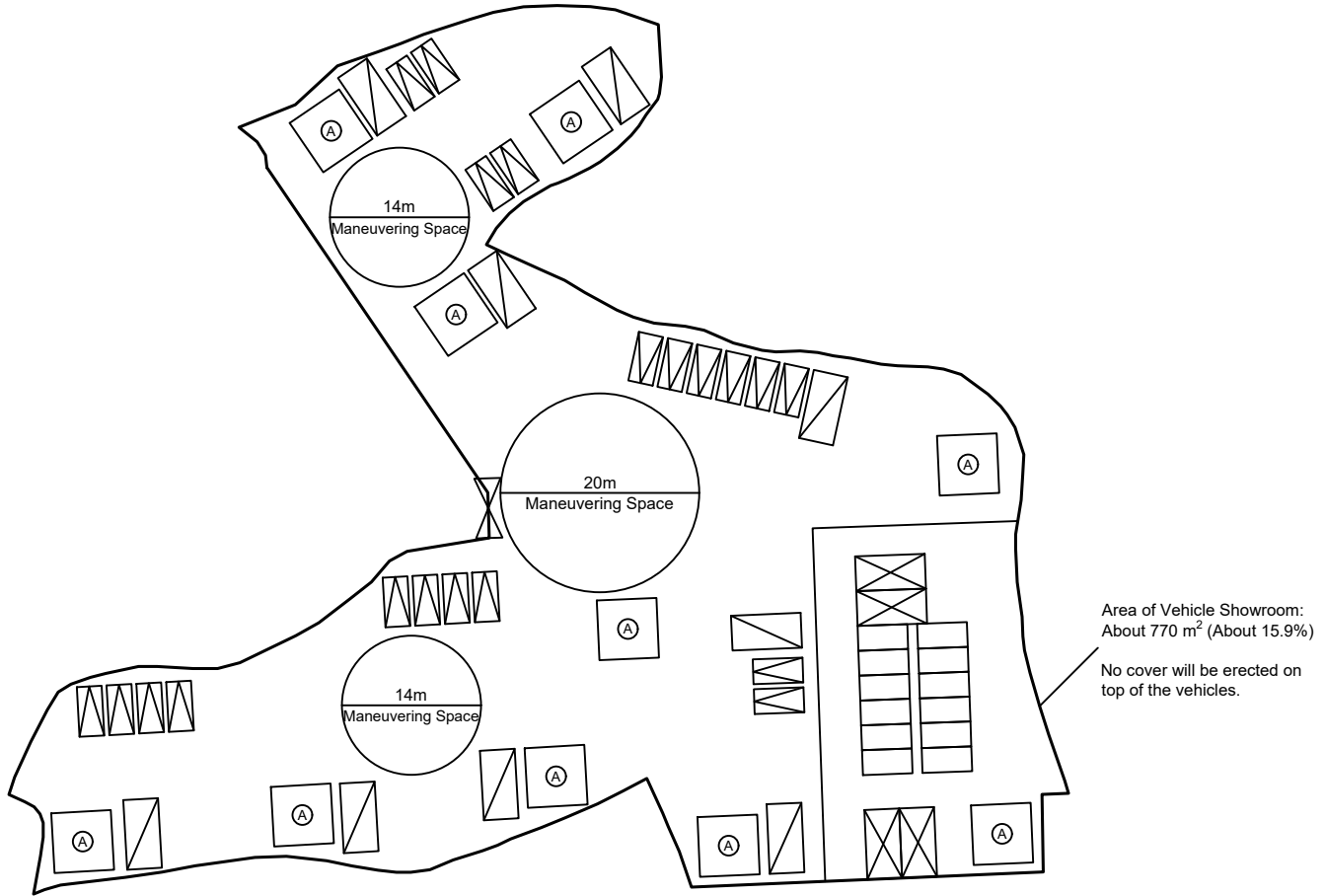
 Application Site 申請範圍

<u>Appendix 1</u> Location: DD 109 Lot 588 (Part) DD 109 Lot 589 (Part) DD 109 Lot 593 RP OZP: S/YL-KTN/11 District: Kam Tin North Zoning: Village Development Type Date: 15 October 2025		<u>Location</u> 位置圖 擬議商店及服務行業 連附屬設施及停車場(為期5年) Proposed Temporary Shop and Services with Ancillary Facilities and Car Park for a Period of 5 Years		<u>SCALE</u> 1:1000 @A4	
				For Identification Only	Drawing No.: 1-01

Proposed Structures Details



	Structures	Gross Floor Area (GFA)	Height (Not Exceeding)	Storey	Unit(s)
A	Shop and Services (G/F)	About 6m x 6m = 36 m ²	7m	2-storey only	10
	Ancillary Office (U/F)	About 6m x 3m = 18 m ²			
	<u>Total</u>	<u>About 540 m²</u>			
	Private Car Parking Space	5m x 2.5m			20
	Space for Displaying Vehicle (Private Car)	5m x 2.5m			12
	Space for Displaying Vehicle (LGV)	7m x 3.5m			4
	LGV L/UL Space	7m x 3.5m			9



Legend:

- Ingress/egress (Width: About 6m)
- Proposed Structures
- Space for Displaying Vehicle (Private Vehicle)
- Space for Displaying Vehicle (LGV)
- Private Car Parking Space
- LGV L/UL Space
- Shop and Services and ancillary office

Total Area: 4,850.1 m² (About)

Covered Area: 360 m² (About)

Uncovered Area: 4,490.1 m² (About)

Non-Domestic GFA (Office): 180 m² (About)

Non-Domestic GFA (Shop and Service): 360 m² (About)

Total Non-Domestic GFA: 540 m² (About)

Nos. of Proposed Structures: 10

Appendix 2

Location: DD 109 Lot 588 (Part)
DD 109 Lot 589 (Part)
DD 109 Lot 593 RP

OZP: S/YL-KTN/11
District: Kam Tin North
Zoning: Village Development Type

Date: 19 October 2025

Proposed Layout Plan

擬議佈局平面圖

擬議商店及服務行業
連附屬設施及停車場(為期5年)

Proposed Temporary Shop and Services with Ancillary
Facilities and Car Park for a Period of 5 Years

SCALE

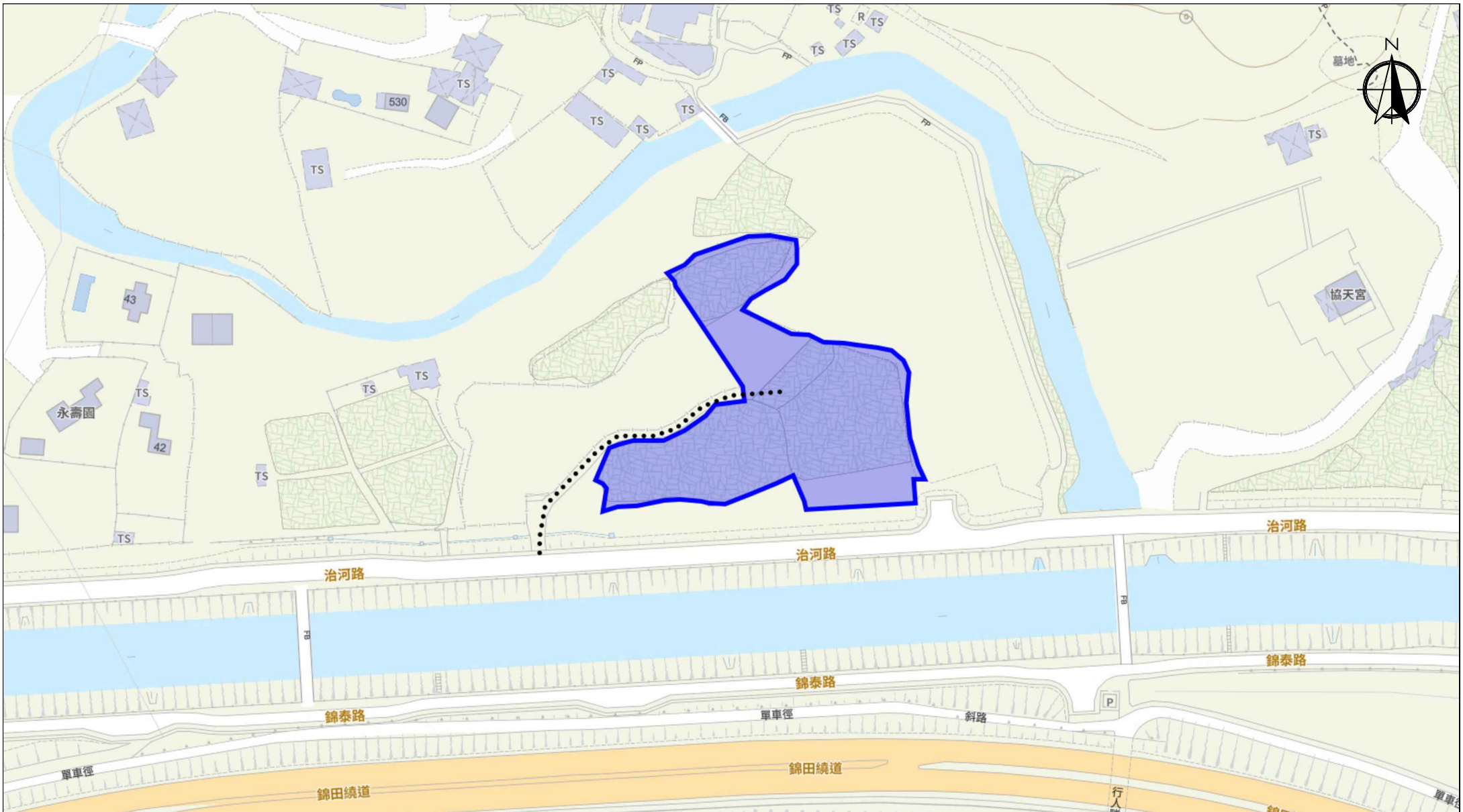
1:750

@A4

For Identification Only

Drawing No.:

2-01



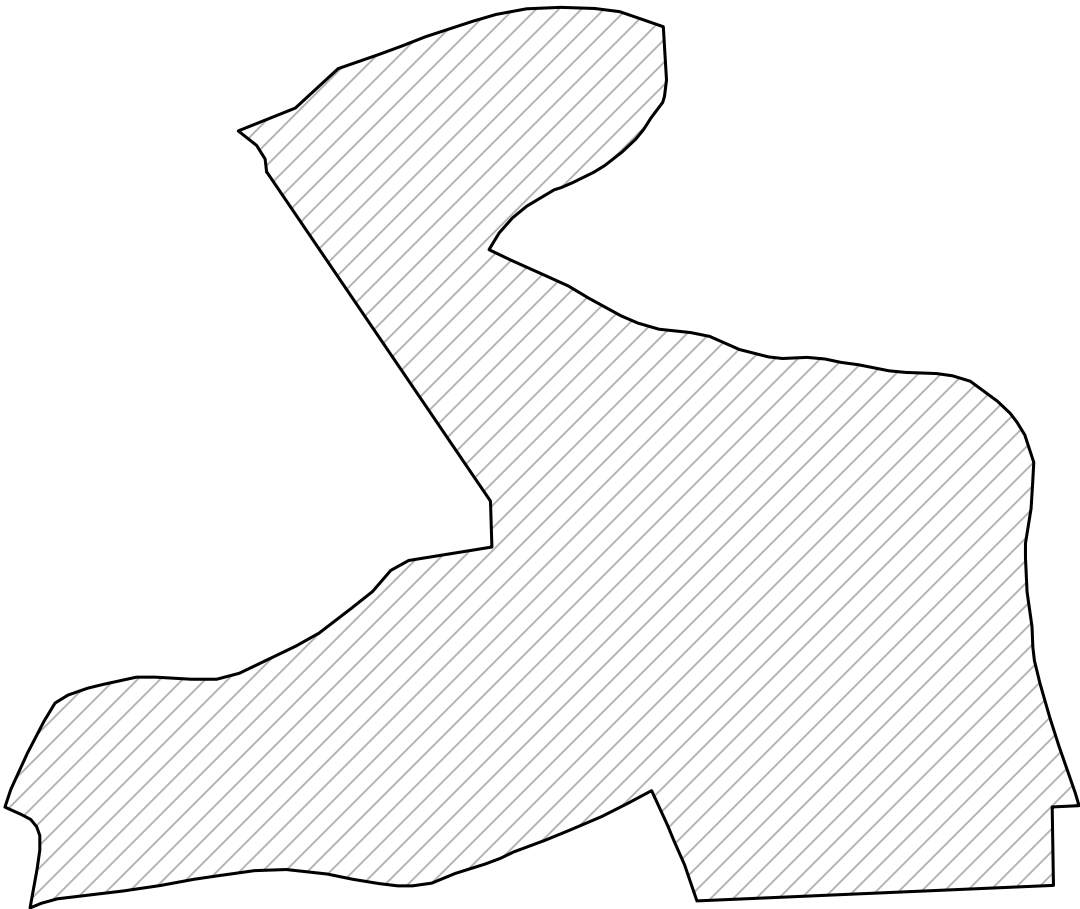
Scale: Undefined @A4

Captured from map.gov.hk on 17th August 2025

Appendix 3 Existing Vehicular Access	Location: D.D. 109 Lot 588 (Part), 589 (Part) and 593 RP OZP: S/YL-KTN/11 District: Kam Tin North Zoning: Village Type Development Zone	Project: Proposed Temporary Shop and Services with Ancillary Facilities and Car Park for a Period of 5 Years	Width of Chi Ho Road: 6m (About) Map Legend: ●●●●● Road Path — Site Boundary	Drawing No.: 3-01 For Identification Only Date: 15/10/2025
--	--	---	--	---

Proposed Filling of Land Perimeter

Application Site Area: 4,850.1 m²(About)
Proposed Land Filling: 4,850.1 m² (About)
Depth of Land Filling: About 0.7 m
Original Site Levels: +4.5 mPD (About)
Proposed Site Levels: +5.2 mPD (About)
Material of Filling: About 0.4m Soil and about 0.3m Concrete
Proposed Use: Structures building, Parking and Circulation Space



Legend:

 Paved Area 平整範圍

<u>Appendix 5</u> Location: DD 109 Lot 588 (Part) DD 109 Lot 589 (Part) DD 109 Lot 593 RP OZP: S/YL-KTN/11 District: Kam Tin North Zoning: Village Development Type Date: 15 October 2025		<u>Paved Area</u> 平整位置圖 擬議商店及服務行業 連附屬設施及停車場(為期5年) Proposed Temporary Shop and Services with Ancillary Facilities and Car Park for a Period of 5 Years		<u>SCALE</u> 1:750 @A4	
				For Identification Only	Drawing No.: 5-01

申請理由

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗錦田北丈量約份第 109 約地段 588(部分)、589(部分)及 593 RP 號作為期五年的
臨時商店及服務行業連附屬設施及停車場之用途

- 申請地點的面積約為 4,850.1 平方米，全部坐落在私人地段，根據錦田北分區計劃大綱核准圖編號 S/YL-KTN/11，申請地點現時被規劃作「鄉村式發展」地帶。
- 本擬議發展為臨時性質，因此不會影響申請地點長遠待規劃意向。商店及服務行業於「鄉村式發展」地帶均是須先向城市規劃委員會申請，可能在有附帶條件或無附帶條件下獲准的用途。
- 申請地點提供十間商店，為錦田市中心分流。
- 申請場內現計畫提供汽車陳列室、2 間便利店、五金、地產代理、小型健身、寵物用品、小型品牌專賣店、髮廊、汽車小型零件共 10 間商店。
- 汽車陳列室會在申請地點提供現貨車輛參觀，亦會提供售賣服務。申請地點提供 12 個私家車展示空間及 4 個輕型貨車展示空間，總共展示空間約有 770 平方米。申請地點內不會存放車輛零件。
- 此申請能夠分擔錦田市中心對商店的需求。商店及服務行業亦能為村民及錦田鄉的居民提供優質的服務。本規劃申請提供 20 個私家車停車位及 9 個客貨車上落位置，全部給予商店及服務行業使用，計畫每間商店提供 2 個私家車停車位，客貨車上落位置是商店及服務行業共用。
- 本申請預計人流最多為每車 4 人，同一時間共約 80 人。
- 商店及服務行業的營業時間為星期一至星期日包括公眾假期上午八時至下午十時。
- 現場不會安裝任何擴音器及揚聲器。
- 申請地點內的汽車陳列室不會提供上蓋予展銷車輛。當陳列車輛位置有空間，將放置交通錐，以免其他車輛佔用該空間。
- 申請用途、形式及佈局與周遭環境並沒有不協調。當場地發展後，附帶條件的渠道及舒緩環境措施，也能令附近地區受惠，有效地加強該地區及附近範圍的環境保護，並能減少水浸可能。

- 根據以上各點，誠意懇求城市規劃委員會寬大批准新界元朗錦田北丈量約份第 109 約地段 588(部分)、589(部分)及 593 RP 號作為期五年的臨時商店及服務行業連附屬設施及停車場的用途。